



**145 DURANT AVENUE, EAST YORK
PROPOSED 2 STOREY REAR ADDITION, NEW 2ND FLOOR OVER EXISTING
AND INTERIOR ALTERATIONS**

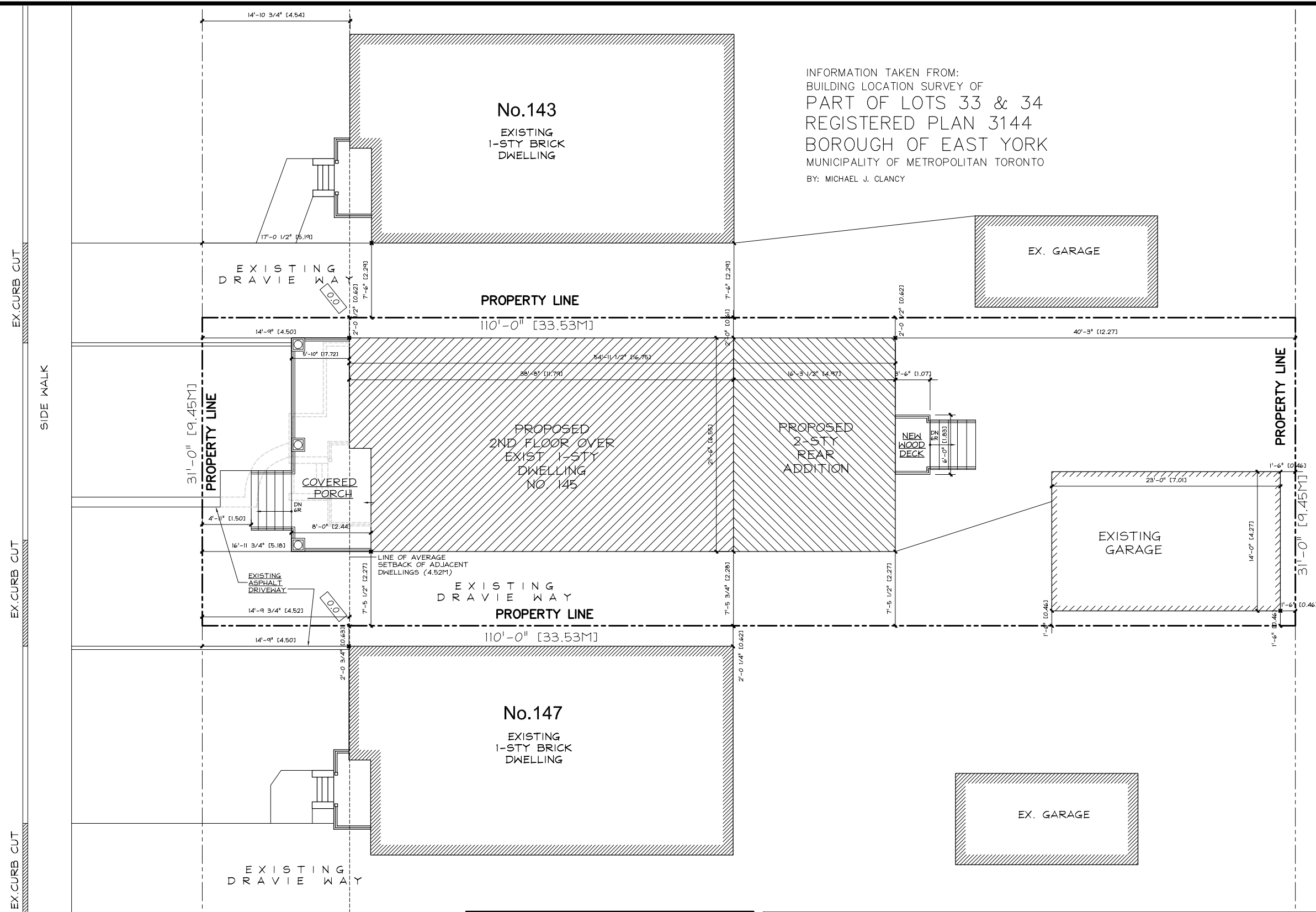
LIST OF DRAWINGS

ISSUED FOR ZONING CERTIFICATE NOV. 30, 2017

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|-------------------------------|------------------------------------|
| A1 SITE PLAN | A6 PROPOSED FRONT ELEVATION (WEST) |
| A1a STATS & SITE DATA | A7 PROPOSED REAR (EAST) ELEVATION |
| A1b LANDSCAPE PLANS | A8 PROPOSED SIDE (SOUTH) ELEVATION |
| A2 PROPOSED BASEMENT PLAN | A9 PROPOSED SIDE (NORTH) ELEVATION |
| A3 PROPOSED GROUND FLOOR PLAN | |
| A4 PROPOSED SECOND FLOOR PLAN | |
| A5 PROPOSED ROOF PLAN | |

DURANT AVENUE

INFORMATION TAKEN FROM:
 BUILDING LOCATION SURVEY OF
 PART OF LOTS 33 & 34
 REGISTERED PLAN 3144
 BOROUGH OF EAST YORK
 MUNICIPALITY OF METROPOLITAN TORONTO
 BY: MICHAEL J. CLANCY



EX CURB CUT
 SIDE WALK
 EX CURB CUT
 EX CURB CUT

1
A1
PROPOSED SITE PLAN
 SCALE: 3/32"=1'-0"

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Require unless design is exempt under 2.17.5.1 of the building code

Leo Mastrandrea		28754
NAME	SIGNATURE	BCIN

REGISTRATION INFORMATION
 Require unless design is exempt under 2.17.4.1 of the building code

Lemcad Consultants	33976
NAME	BCIN

LEM CAD CONSULTANTS			
817 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601			
A1	PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.		
	LOCATION: 145 DURANT AVENUE, EAST YORK		
	DWG. BY: SMM	CK'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A1 OF 9	DATE: NOV. 30, 2017	CADD-NAME: 170918



ORIENTATION

ADDITIONAL SITE STATISTICS ZONED RIA & RD
145 DURANT AVENUE, EAST YORK

	PROVIDED	REQUIRED
TOTAL FRONT YARD AREA = 349.90 SQFT (32.51 SQ.M.)		
AREA #1 + #2 EXISTING DRIVEWAY AREA = 194.67 SQFT (18.09 SQ.M.)		
PROPOSED FRONT YARD LANDSCAPING = 155.23 SQFT (14.42 SQ.M.)	44.36%	50%
AREA #3 PROPOSED HARD LANDSCAPING = 37.82 SQFT (3.51 SQ.M.)		
AREA #4 PROPOSED SOFT LANDSCAPING = 117.41 SQFT (10.91 SQ.M.)	75.63%	75%
TOTAL REAR YARD AREA = 1247.72 SQFT (115.92 SQ.M.)		
AREA #5 + #6 + #7 PROPOSED HARD LANDSCAPING = 523.09 SQFT (48.62 SQ.M.)		
AREA #8 PROPOSED SOFT LANDSCAPING = 724.63 SQFT (67.35 SQ.M.)	58.07%	50%
	PROVIDED	MAXIMUM
FLOOR AREA	68.0% 204.49 SQ.M.	45% 142.56 SQ.M.
COVERAGE	47.80% 107.36 SQ.M.	35% 110.88 SQ.M.
MAX. BUILDING HEIGHT	8.46M	8.5M
MAX. BUILDING LENGTH	16.75M	16.75M
MAX. MAIN WALL HEIGHT	6.681M	7.0M
MAX. GROUND FLOOR HEIGHT	1.19M	1.20M
	PROVIDED	MINIMUM
LOT FRONTAGE	9.45M	9.0M
LOT AREA	316.80 SQ.M.	280 SQ.M.
MIN. FRONT YARD SETBACK	BYLAW 6752 4.50M	6.0M
	BYLAW 569-2013 4.50M	4.52M
MIN REAR YARD	12.27M	9.0M
SIDE YARD SETBACK (SOUTH)	2.27M	0.9M
SIDE YARD SETBACK (NORTH)	0.61M	0.9M

1 PROPOSED SITE STATS
A1a

SITE DATA			ZONED RIA
LOT AREA = 3410 SQFT (316.80 SQ.M.)			
GFA	EXISTING	PROPOSED	TOTAL
GROUND	809 SQFT (75.16 SQ.M.)	350.00 SQFT (32.52 SQ.M.)	1159.00 SQFT (107.67 SQ.M.)
SECOND		1159.00 SQFT (107.67 SQ.M.)	1159.00 SQFT (107.67 SQ.M.)
TOTAL	809 SQFT (75.16 SQ.M.)	1509.00 SQFT (140.19 SQ.M.)	2318.00 SQFT (215.35 SQ.M.) OR 68.00%
COVERAGE			
GROUND FLOOR			1159.00 SQFT (107.67 SQ.M.)
COVERED PORCH			148.00 SQFT (13.75 SQ.M.)
DETACHED GARAGE			322.00 SQFT (29.91 SQ.M.)
TOTAL			1629.00 SQFT (151.34 SQ.M.) OR 47.8%

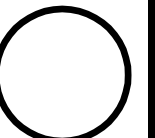
2 PROPOSED SITE DATA
A1a

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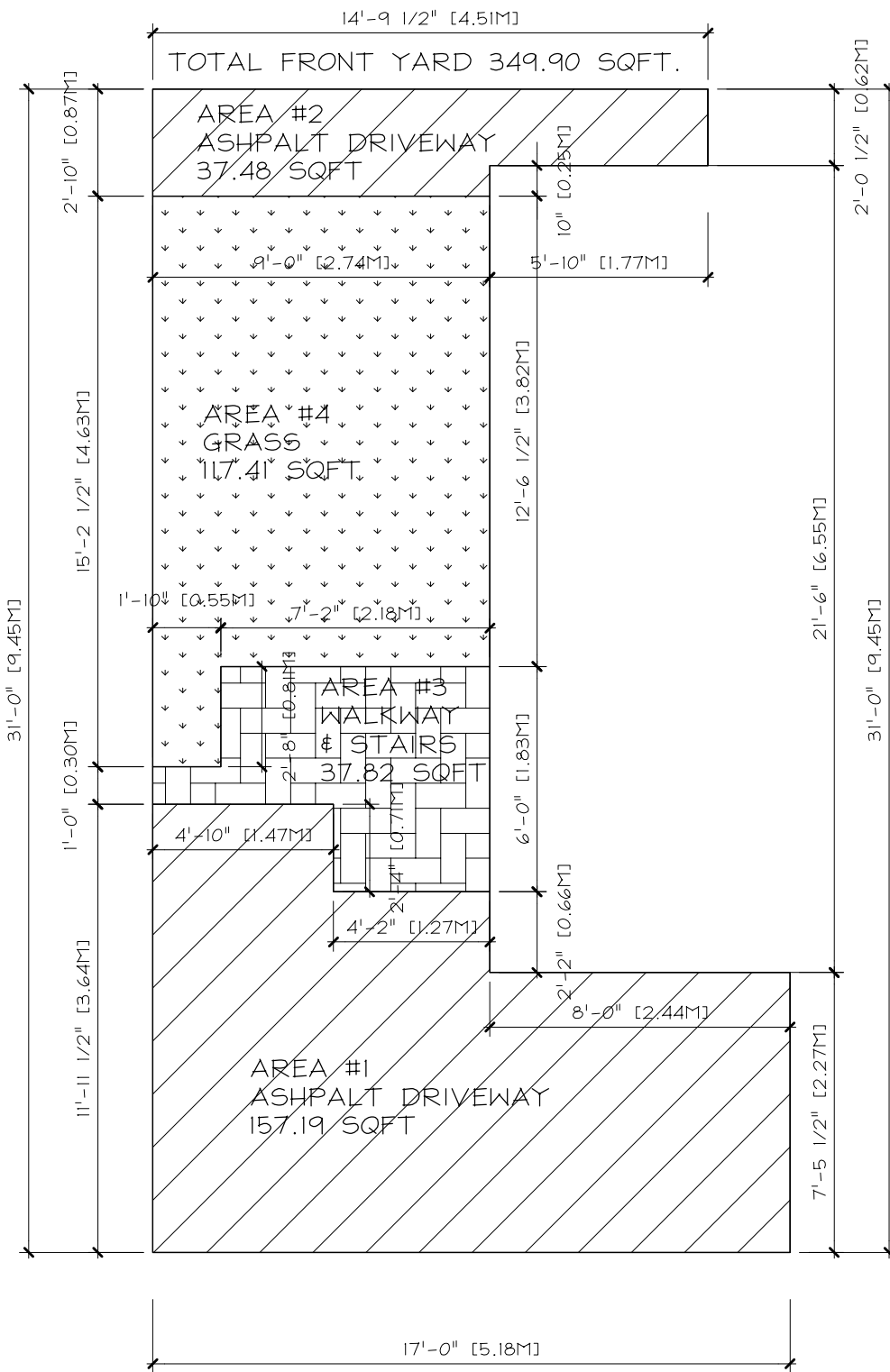
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A1a

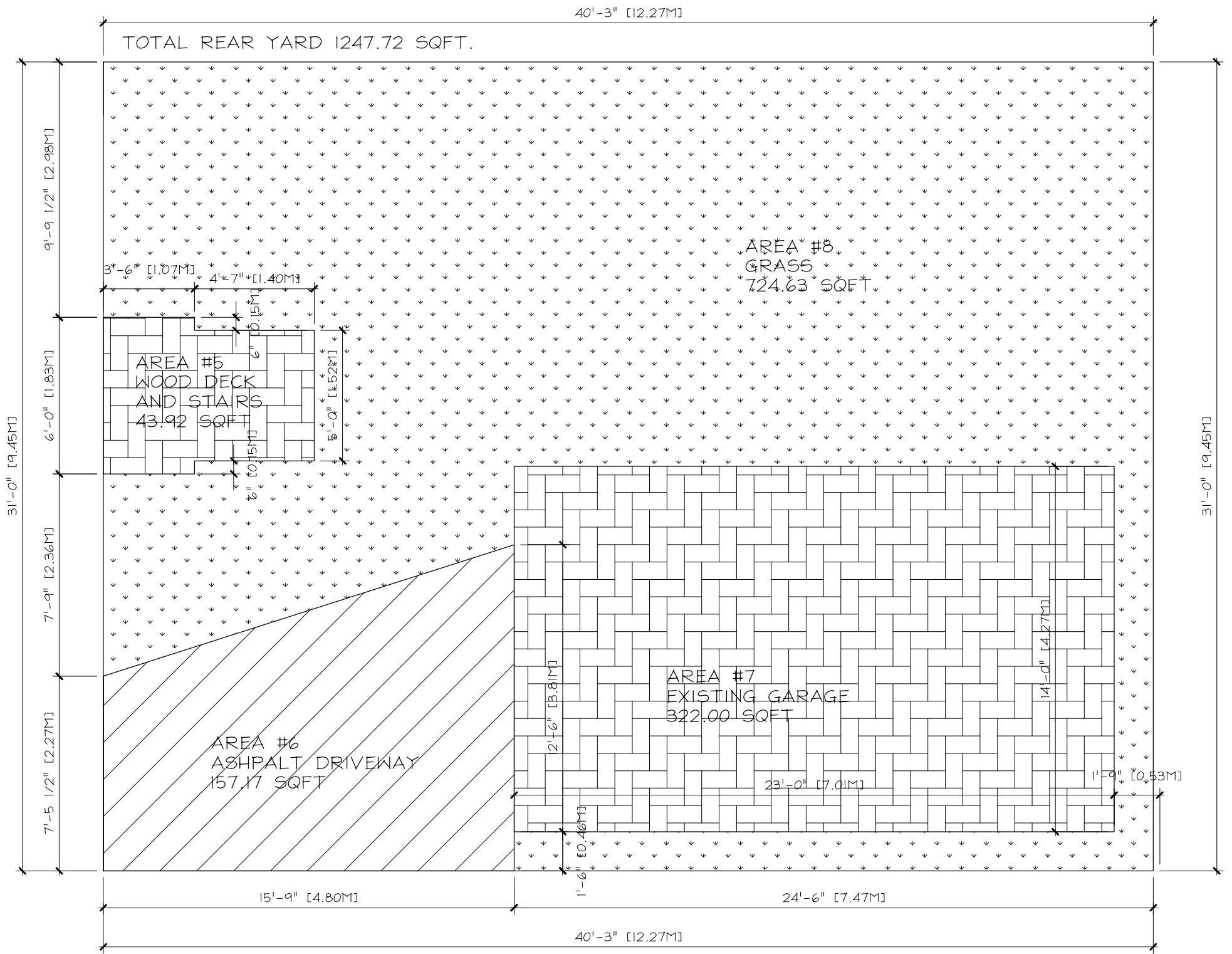
PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.			
LOCATION: 145 DURANT AVENUE, EAST YORK			
DWG. BY: SMM	CK'D BY: LM	APP. BY:	DATE: NOV. 30, 2017
JOB NO.:	DWG. NO.: A1a OF 9	CADD-NAME: 170918	



ORIENTATION



1 FRONT YARD LANDSCAPING
A1b



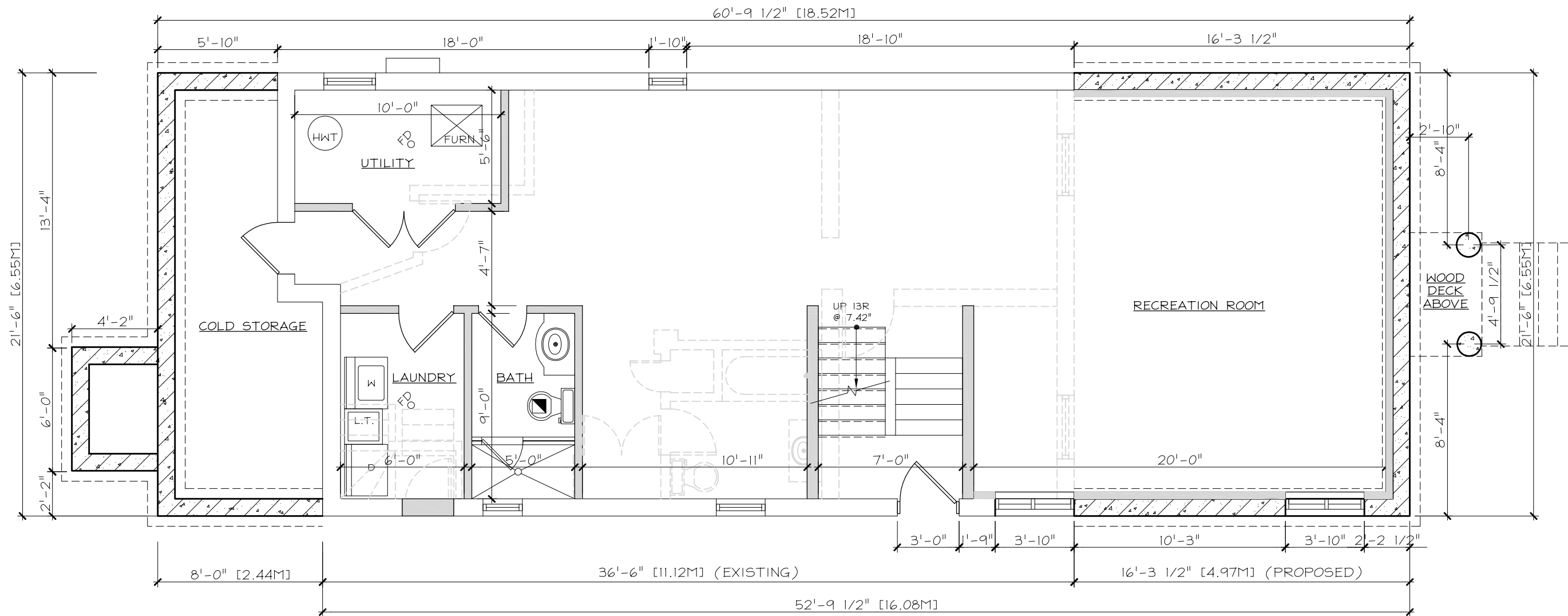
2 REAR YARD LANDSCAPING
A1b

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A1b

PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.			
LOCATION: 145 DURANT AVENUE, EAST YORK			
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JOB NO.:	DWG. NO.: A1b OF 9	CADD-NAME: 170918	

ORIENTATION 



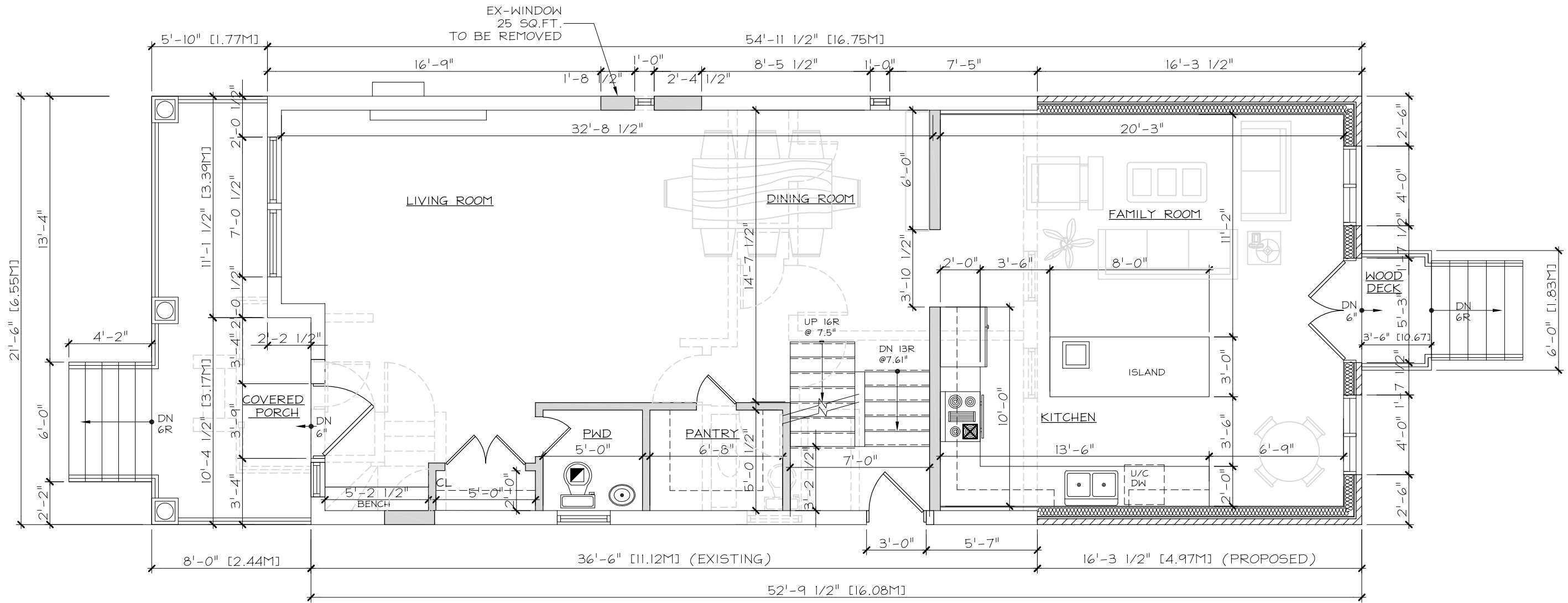
LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW INTERIOR WALL
- NEW FOUNDATION WALL
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR TO MATCH EXISTING

1
A2
PROPOSED BASEMENT FLOOR PLAN
 SCALE: 3/16"=1'-0"

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817 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601			
A2	PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.		
	LOCATION: 145 DURANT AVENUE, EAST YORK		
	DWG. BY: SMM	CK'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A2 OF 9	DATE: NOV. 30, 2017	CADD-NAME: 170918



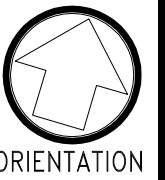


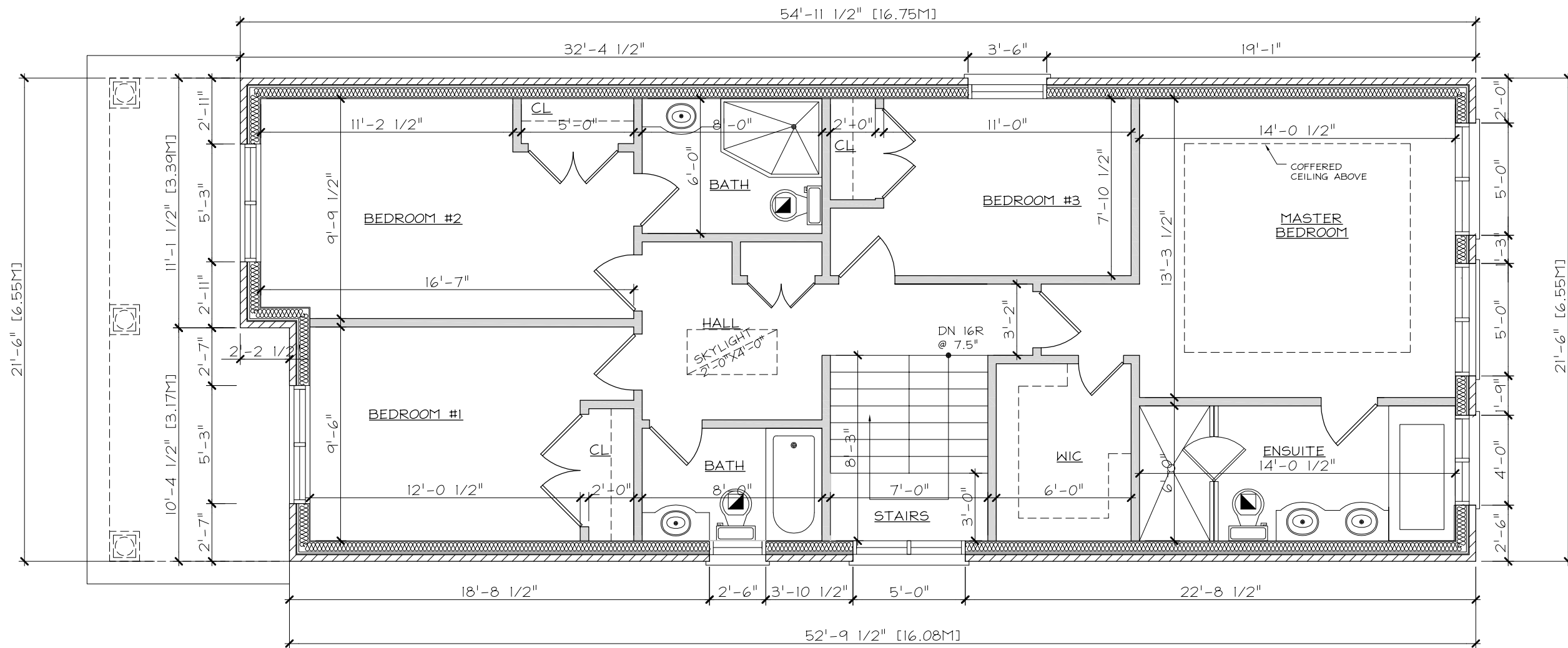
LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW INTERIOR WALL
- NEW EXTERIOR WALL
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR TO MATCH EXISTING

1
A3 **PROPOSED GROUND FLOOR PLAN**
SCALE: 3/16"=1'-0"

LEMCAD CONSULTANTS			
817 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601			
A3	PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.		
	LOCATION: 145 DURANT AVENUE, EAST YORK		
	DWG. BY: SMM	CK'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A3 OF 9	DATE: NOV. 30, 2017	CADD-NAME: 170918





LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW INTERIOR WALL
- NEW EXTERIOR WALL
- EXISTING DOOR TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR TO MATCH EXISTING

1
A4 PROPOSED
SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"

LEMCAD CONSULTANTS

817 COSBURN AVENUE, Toronto, Ontario M4C 2V9
PHONE: (416) 405-8164 FAX: (416) 405-9601

A4

PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.

LOCATION: 145 DURANT AVENUE, EAST YORK

DWG. BY: SMM

CK'D BY: LM

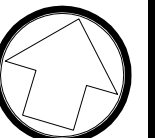
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DATE: NOV. 30, 2017

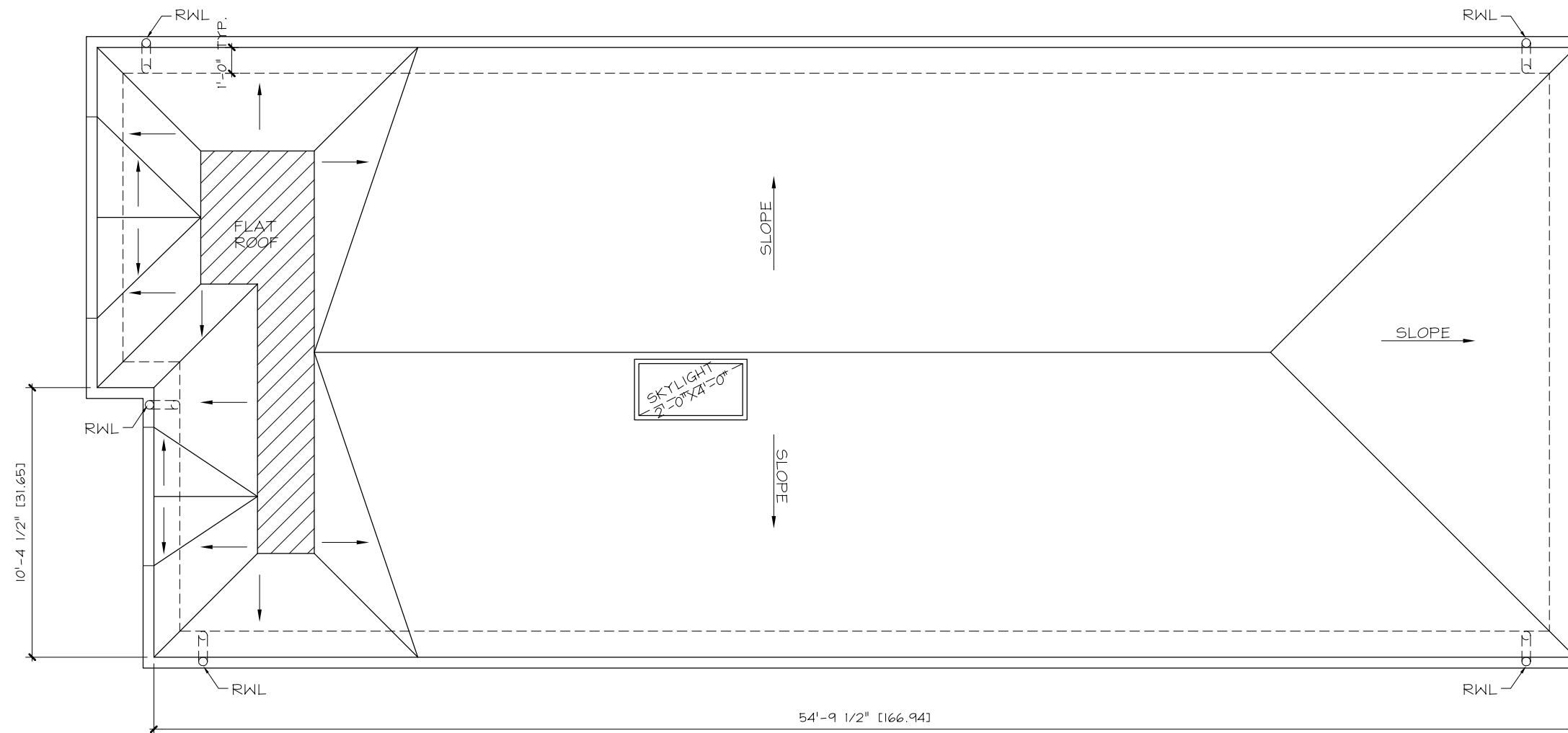
JOB NO.:

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CADD-NAME: 170918



ORIENTATION



1 PROPOSED
A5 ROOF PLAN
 SCALE: 3/16"=1'-0"

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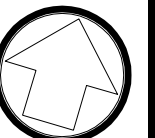
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PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.

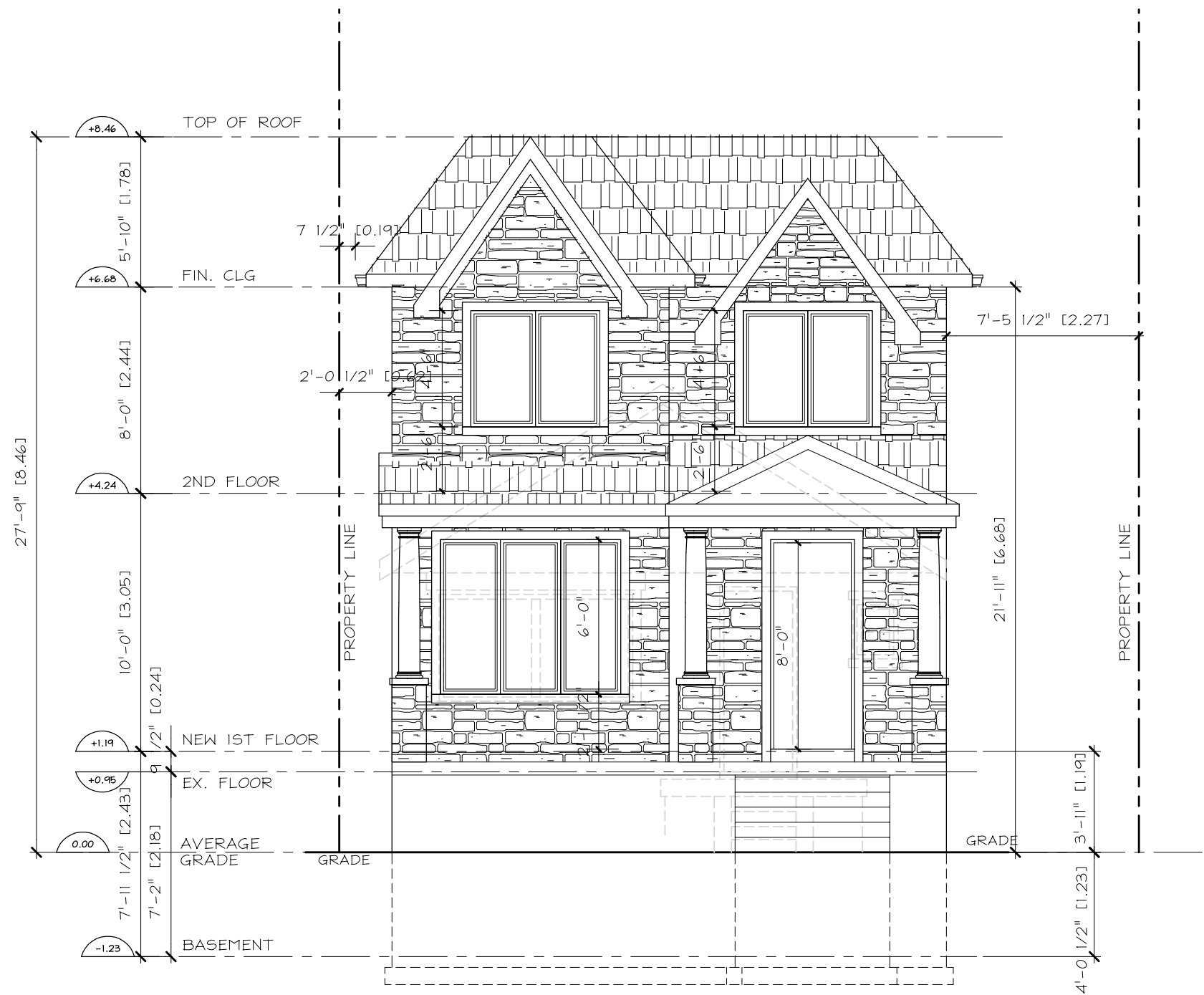
LOCATION: 145 DURANT AVENUE, EAST YORK

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JOB NO.:	DWG. NO.: A5 OF 9	CADD-NAME: 170918
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ORIENTATION



1
A6 PROPOSED FRONT (WEST) ELEVATION
SCALE: 3/16"=1'-0"

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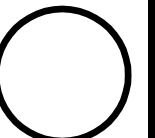
A6

PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.

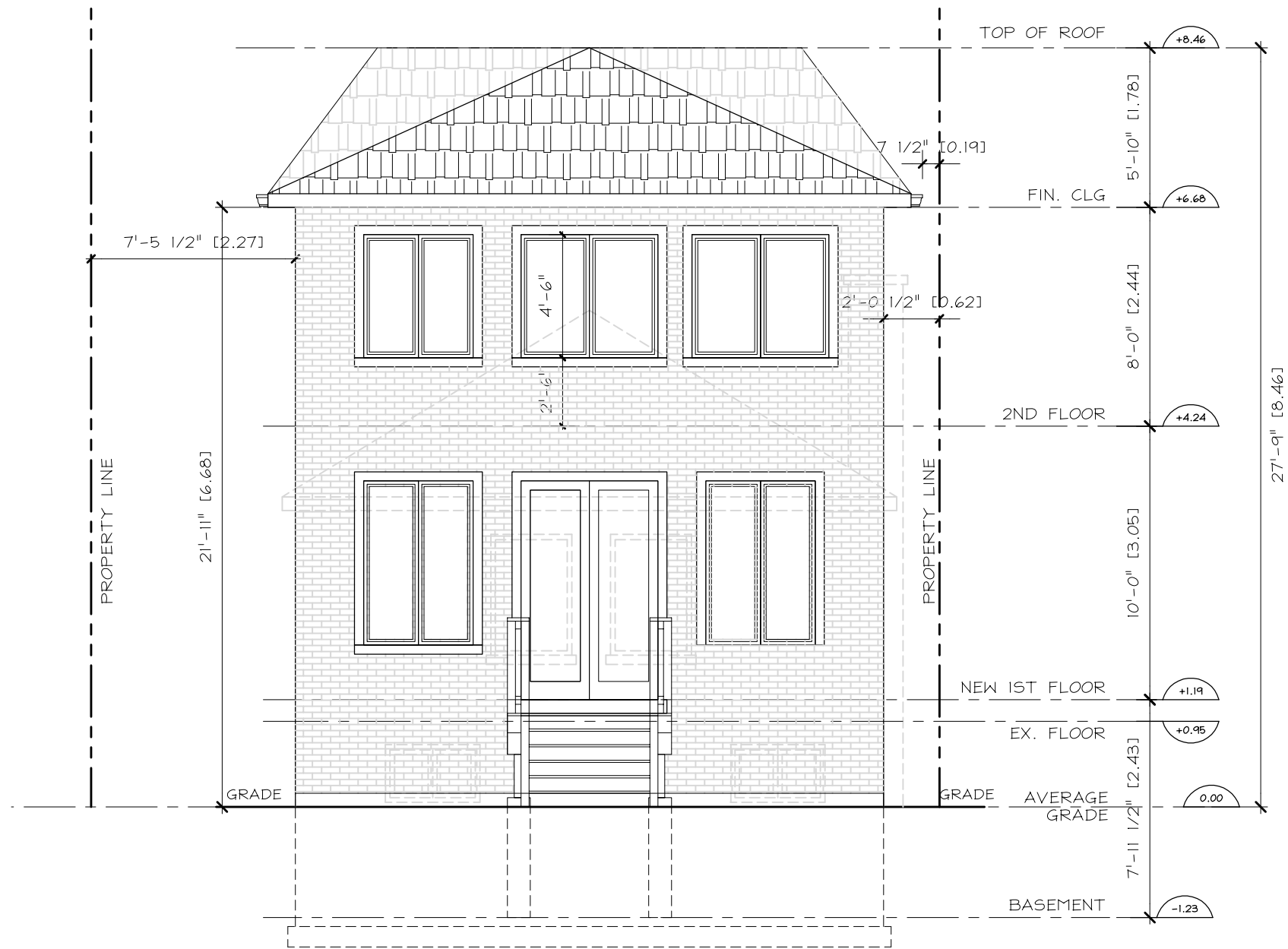
LOCATION: 145 DURANT AVENUE, EAST YORK

DWG. BY: SMM CK'D BY: LM APP. BY: DATE: NOV. 30, 2017

JOB NO.: DWG. NO.: A6 OF 9 CADD-NAME: 170918



ORIENTATION



2
 A7 PROPOSED REAR (EAST) ELEVATION
 SCALE: 3/16"=1'-0"

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A7

PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.

LOCATION: 145 DURANT AVENUE, EAST YORK

DWG. BY: SMM

CK'D BY: LM

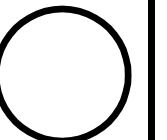
APP. BY:

DATE: NOV. 30, 2017

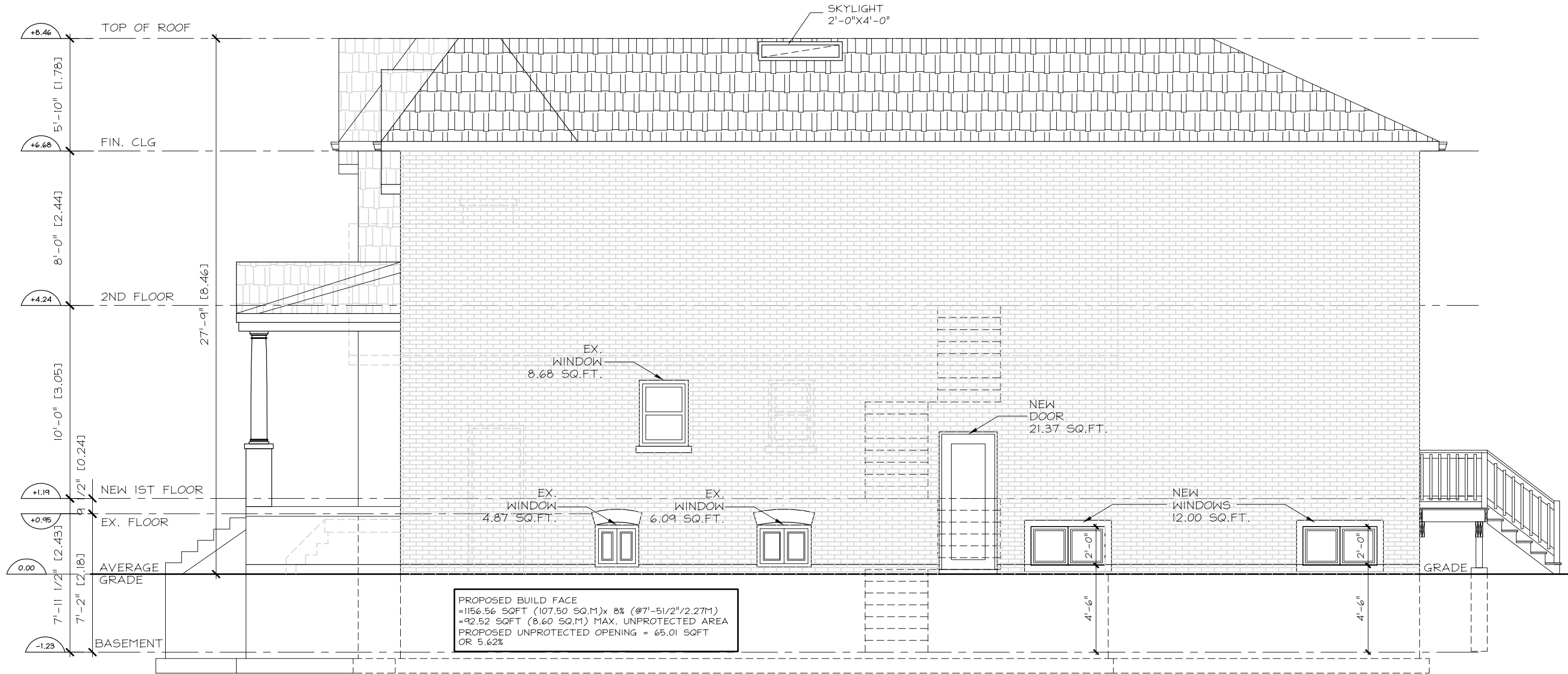
JOB NO.:

DWG. NO.: A7 OF 9

CADD-NAME: 170918



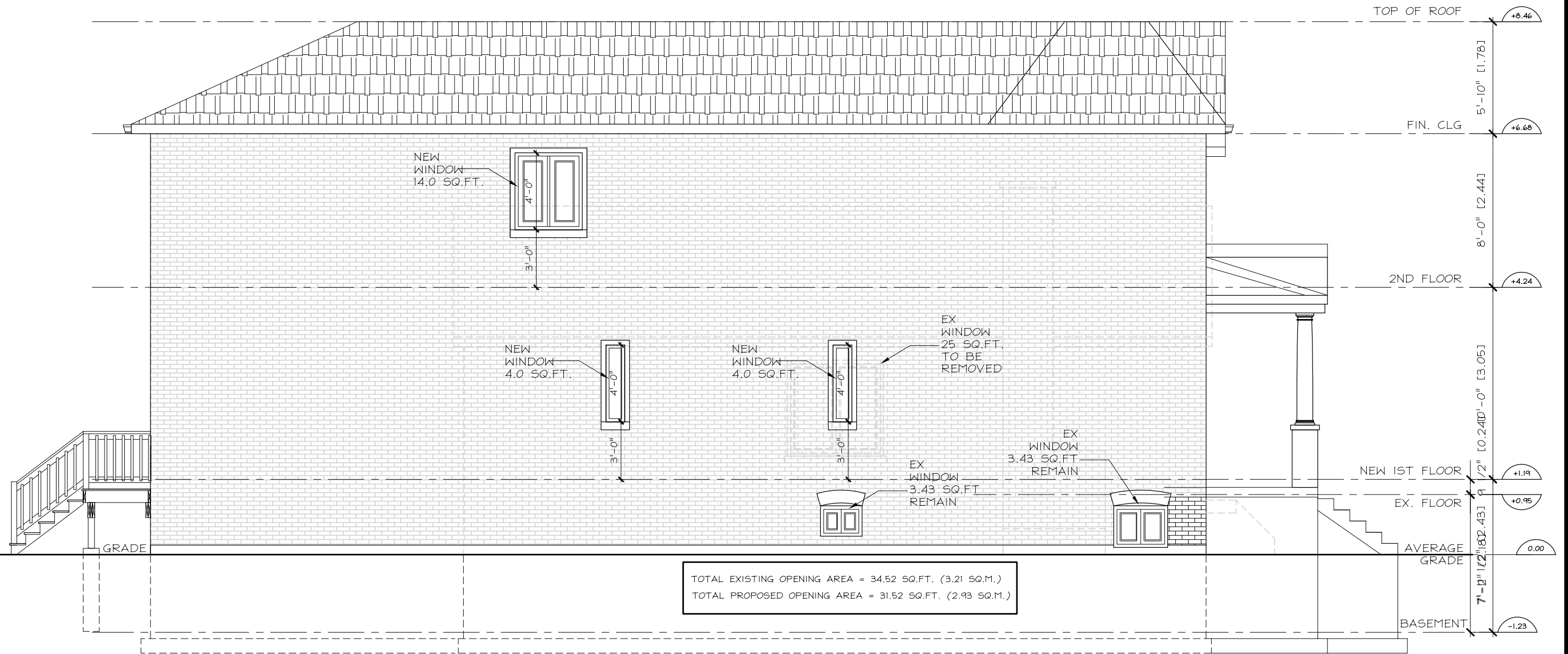
ORIENTATION



PROPOSED BUILD FACE
 =1156.56 SQFT (107.50 SQ.M) x 8% (@7'-5 1/2"/2.27M)
 =92.52 SQFT (8.60 SQ.M) MAX. UNPROTECTED AREA
 PROPOSED UNPROTECTED OPENING = 65.01 SQFT
 OR 5.62%

1
 A8 PROPOSED
 SIDE (SOUTH) ELEVATION
 SCALE: 3/16"=1'-0"

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A8	PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.		
	LOCATION: 145 DURANT AVENUE, EAST YORK		
	DWG. BY: SMM	CK'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A8 OF 9	DATE: NOV. 30, 2017	 ORIENTATION
		CADD-NAME: 170918	



1
A9
PROPOSED
SIDE (NORTH) ELEVATION
SCALE: 3/16"=1'-0"

LEMCAD CONSULTANTS			
817 COSBURN AVENUE, Toronto, Ontario M4C 2V9 PHONE: (416) 405-8164 FAX: (416) 405-9601			
A9	PROJECT: PROPOSED 2 STY REAR ADD. & 2ND STY OVER EXIST.		
	LOCATION: 145 DURANT AVENUE, EAST YORK		
	DWG. BY: SMM	CK'D BY: LM	APP. BY:
JOB NO.:	DWG. NO.: A9 OF 9	DATE: NOV. 30, 2017	ORIENTATION
		CADD-NAME: 170918	