

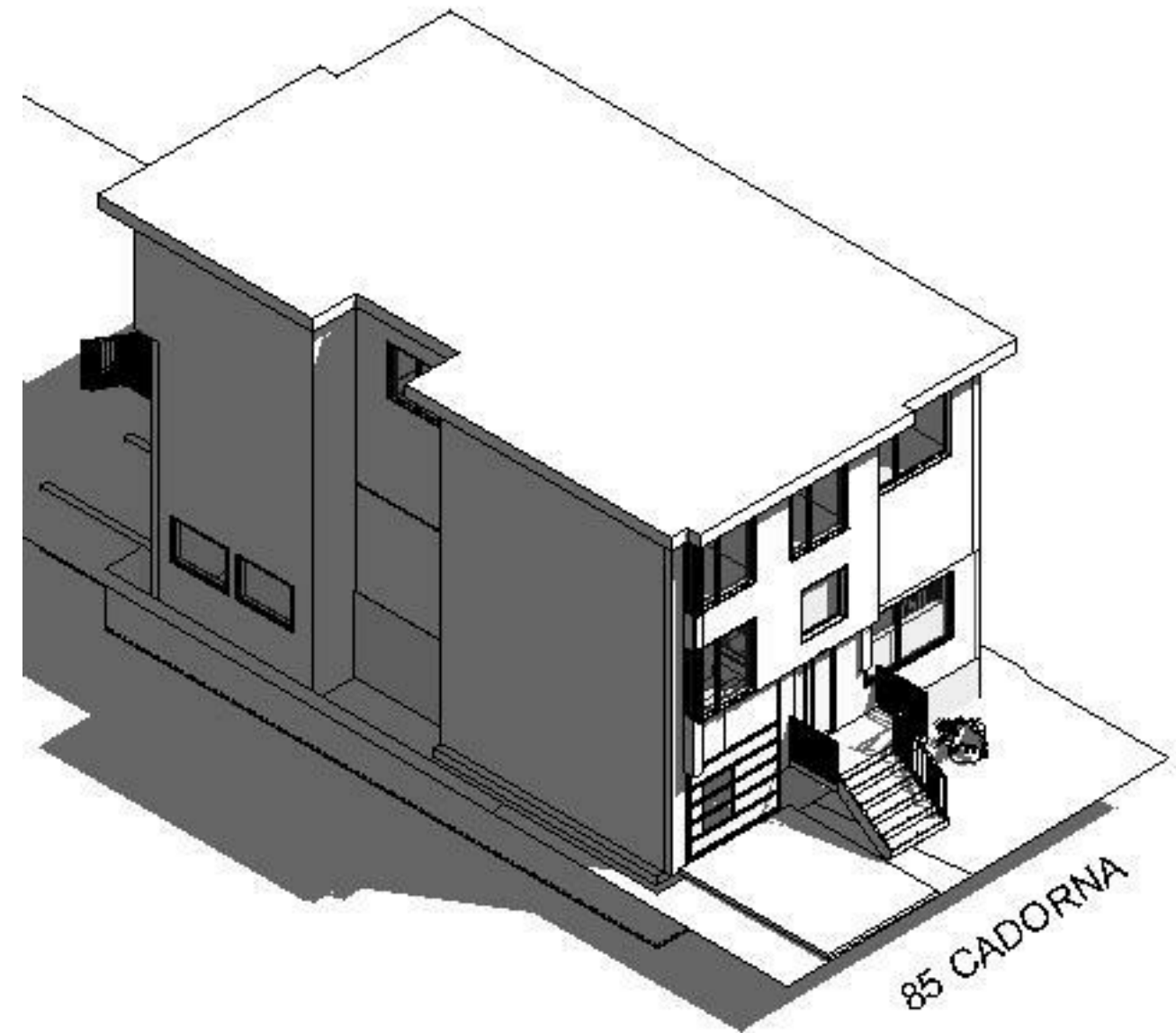
85 CADORNA AVE., EAST YORK

SIDE, REAR & SECOND STOREY
ADDITION , WITH AN INTEGRAL
GARAGE TO AN EXISTING
ONE STOREY DWELLING

RECEIVED
By Committee of Adjustment at 9:29 am, Nov 07, 2017

DRAWING INDEX

DRAWING	DESCRIPTION
A000	COVERSHEET
A001	SITE PLAN
A002	BASEMENT FLOOR PLAN
A003	FIRST FLOOR PLAN
A004	SECOND FLOOR PLAN
A005	WEST ELEVATION (FRONT)
A006	NORTH ELEVATION
A007	SOUTH ELEVATION
A008	EAST ELEVATION
A009	EXISTING FLOOR PLANS
A010	EXISTING ELEVATIONS



417-62 FORESTMANOR RD.,
TORONTO, ONTARIO
416-435-5108

The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.
Niloufar Baradaran BCIN 47012
Signature *slu* Date 7/22/2017
Arc & Art Design

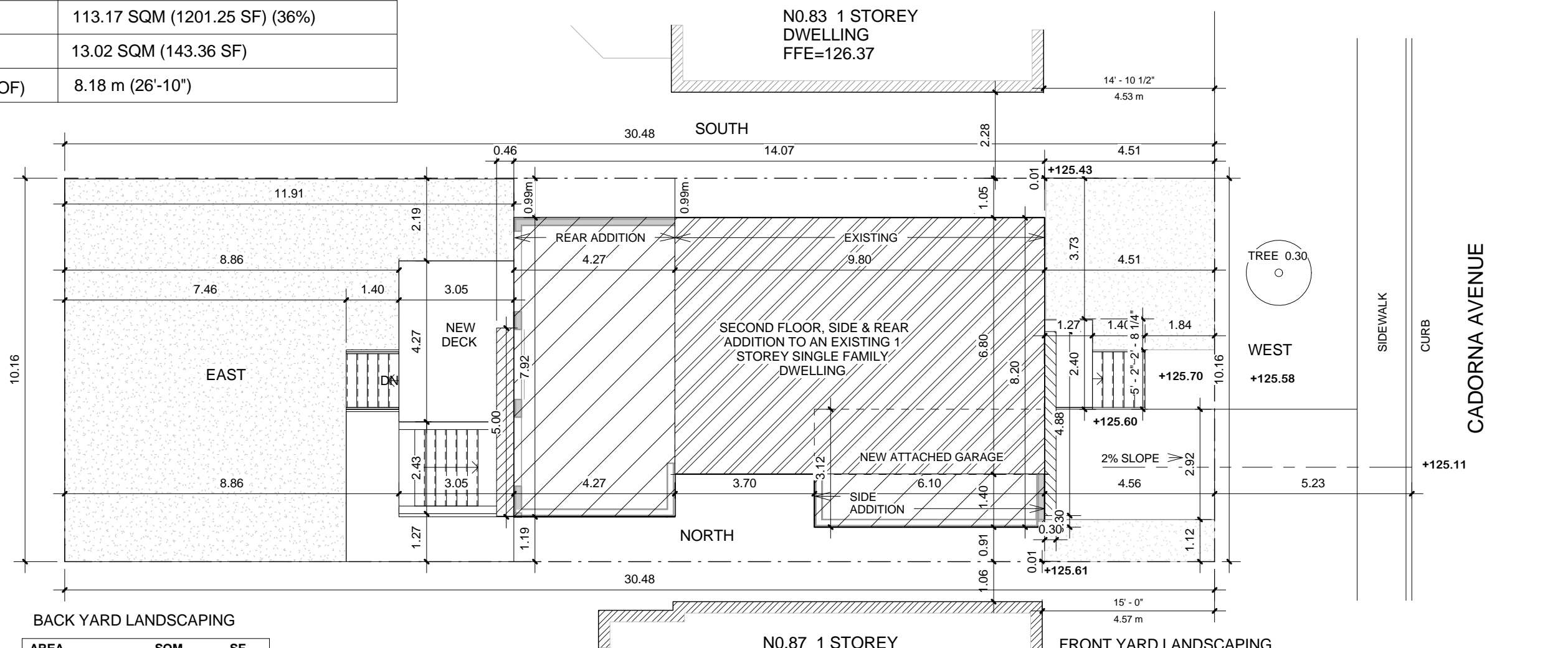
Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent.
Drawings are not to be scaled.

85 CADORNA AVE.
SIDE, REAR & SECOND STOREY
ADDITION

Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/15/2017
02	ISSUED FOR C OF A	7/22/2017

COVER PAGE		
Project Number	A&A-002	A000
Date	07/15/2017	
Drawn by	NB	
Checked by	ARC & ART	
	Scale	

LOT AREA:	309.67SQM (3333.33 SF)
EXISTING FIRST FLOOR	68.65 SQM (738.94 SF)
FIRST FLOOR ADDITION	42.24 SQM (456.71 SF)
PROPOSED FIRST FLOOR	110.89 SQM (1195.65 SF)
PROPOSED SECOND FLOOR	113.17 SQM (1201.25 SF)
TOTAL G.F.A.	224.06 SQM (2391.83SF) (72%)
NEW GARAGE	19.00 SQM (204.51 SF)
NEW PORCH	3.03 SQM (32.61 SF)
NEW COVERAGE	113.17 SQM (1201.25 SF) (36%)
NEW DECK AREA	13.02 SQM (143.36 SF)
NEW BUILDING HEIGHT (FLAT ROOF)	8.18 m (26'-10")



BACK YARD LANDSCAPING

AREA	SQM	SF
REAR YARD	121.00	1302.43
GRASS (73%)	88.48	952.39
DECK	13.02	140.15
STEPS	2.12	22.81
WALKOUT STEPS	7.96	85.68
WALK WAY (HARD)	9.35	100.64

ESTABLISHED GRADE:
 $(+125.43 + 125.61) / 2 = 125.52$

FRONT YARD LANDSCAPING

AREA	SQM	SF
FRONT YARD	46.07	495.89
GRASS (75%)	24.80	266.95
PORCH	3.03	32.62
STEPS	2.12	22.82
WALK WAY	2.79	30.03
DRIVE WAY	13.32	143.27



The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.

Niloufar Baradaran BCIN 47012

Signature *slu* Date 7/22/2017

Arc & Art Design

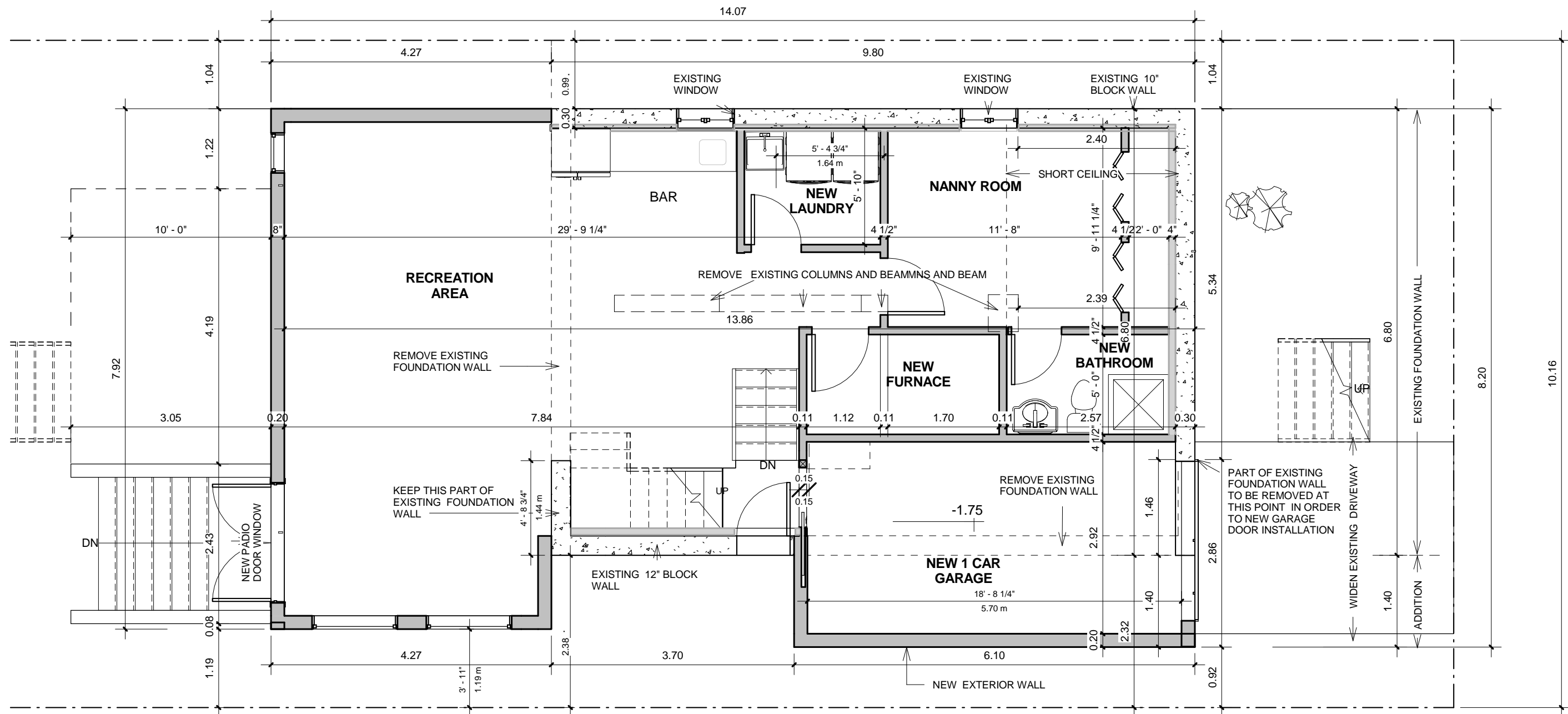
Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent. Drawings are not to be scaled.

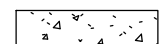


85 CADORNA AVE.

SIDE, REAR & SECOND STOREY ADDITION

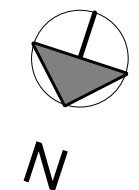
Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/22/2017
02	ISSUED FOR C OF A	7/22/2017

SITE PLAN		A001
Project Number	A&A-002	
Date	07/15/2017	
Drawn by	NB	
Checked by	ARC & ART	Scale 1 : 125



-  EXISTING CONCRETE BLOCKWALL
-  NEW FOUNDATION WALL
-  NEW 2X4 WALL

NORTH SIDE



The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.

Niloufar Baradaran BCIN 47012

Signature *slu* Date 7/22/2017

Arc & Art Design

Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent. Drawings are not to be scaled.

85 CADORNA AVE.

SIDE, REAR & SECOND STOREY ADDITION

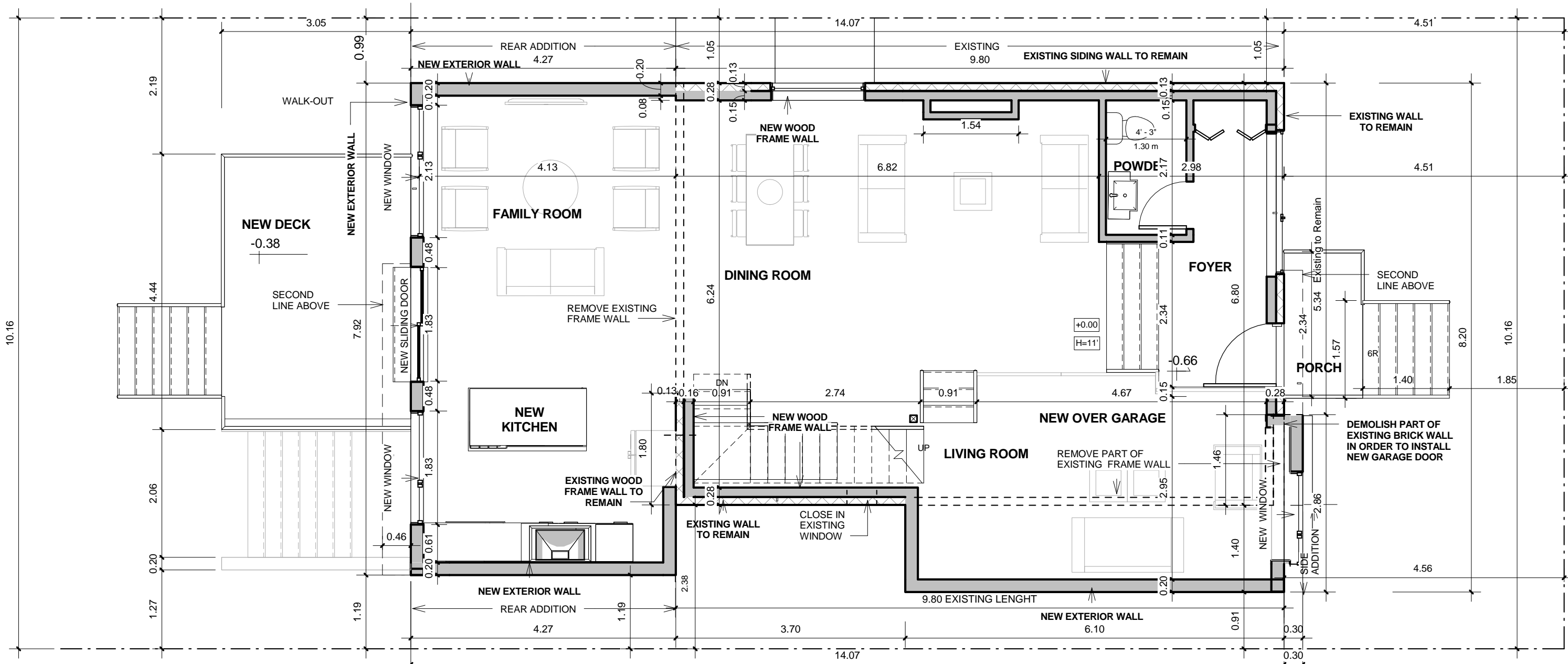
Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/22/2017
02	ISSUED FOR C OF A	7/22/2017

BASEMENT PLAN

Project Number	A&A-002
Date	07/15/2017
Drawn by	NB
Checked by	ARC & ART

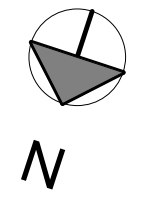
A002

Scale 1 : 64



- EXISTING SIDING WALL
- NEW 2X6 FRAMEWALL
- NEW SIDING WALL
- NEW PARTITION WALL

NORTH SIDE



The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.

Niloufar Baradaran BCIN 47012

Signature *slu* Date 7/22/2017

Arc & Art Design

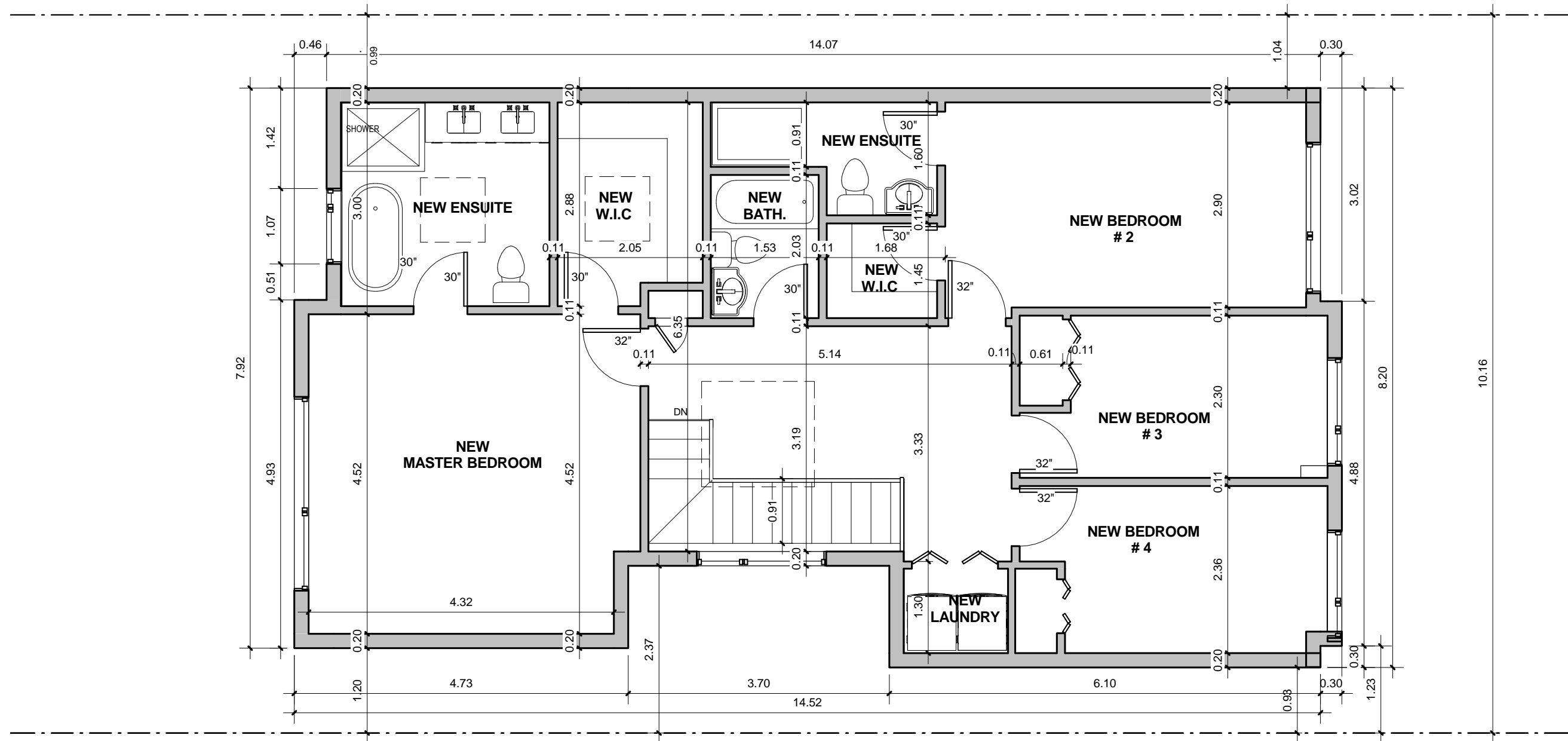
Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent. Drawings are not to be scaled.

85 CADORNA AVE.

SIDE, REAR & SECOND STOREY ADDITION

Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/22/2017
02	ISSUED FOR C OF A	7/22/2017

FIRST FLOOR PLAN		A003
Project Number	A&A-002	
Date	07/15/2017	
Drawn by	NB	
Checked by	ARC & ART	Scale 1 : 64



NEW SIDING WALL

 NEW 2X4 PARTITION WALL

NORTH SIDE



417-62 FORESTMANOR RD.,
 TORONTO, ONTARIO
 416-435-5109

The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.
 Niloufar Baradaran BCIN 47012
 Signature *slu* Date 7/22/2017
 Arc & Art Design

Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent. Drawings are not to be scaled.

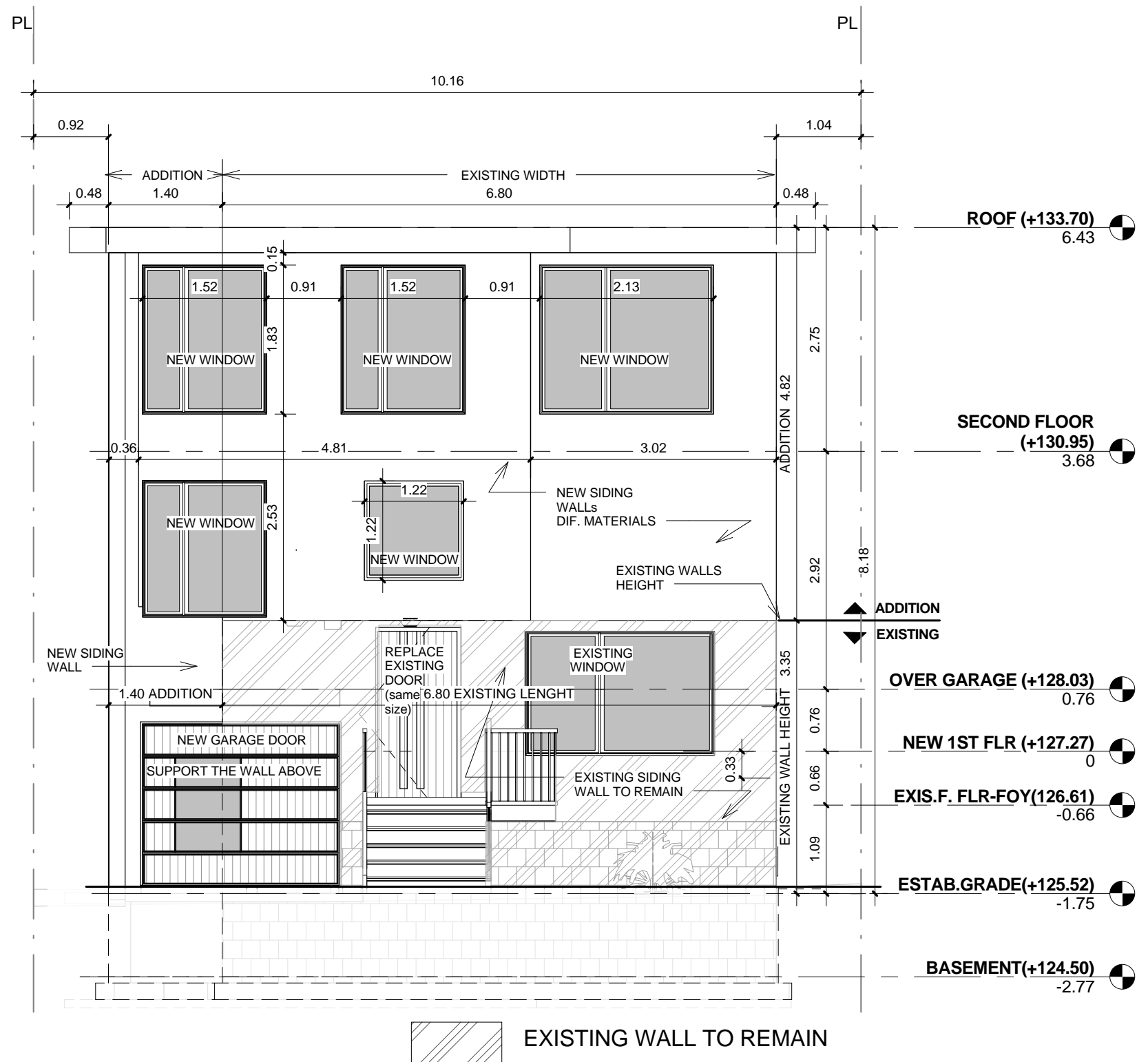
85 CADORNA AVE.

SIDE, REAR & SECOND STOREY ADDITION

Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/22/2017
02	ISSUED FOR C OF A	7/22/2017

SECOND FLOOR PLAN

Project Number	A&A-002	A004
Date	07/15/2017	
Drawn by	NB	
Checked by	ARC & ART	
Scale		1 : 64



417-62 FORESTMANOR RD.,
TORONTO, ONTARIO
416-435-5109

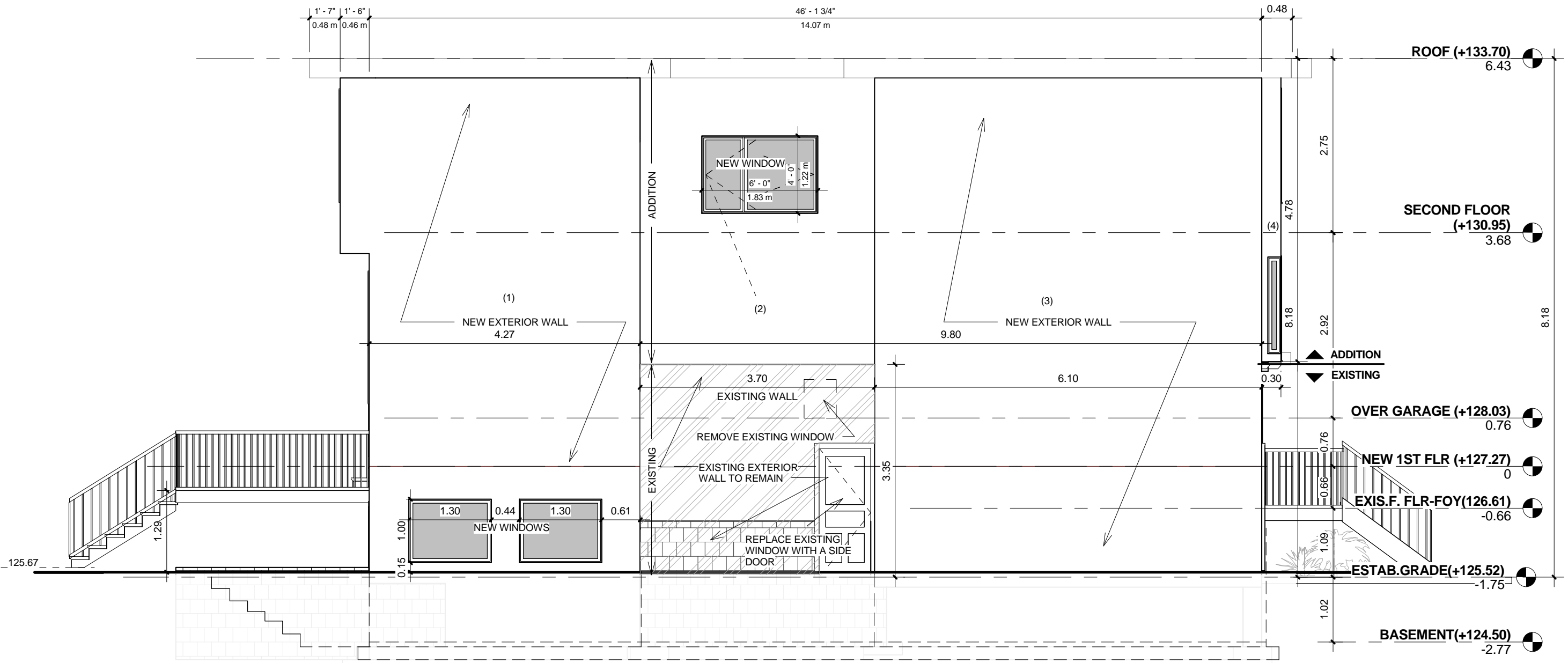
The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.
Niloufar Baradaran BCIN 47012
Signature *slu* Date 7/22/2017
Arc & Art Design

Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent. Drawings are not to be scaled.

85 CADORNA AVE.
SIDE, REAR & SECOND STOREY ADDITION

Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/22/2017
02	ISSUED FOR C OF A	7/22/2017

WEST ELEVATION (FRONT)		
Project Number	A&A-002	A005
Date	07/15/2017	
Drawn by	NB	
Checked by	ARC & ART	
Scale		1 : 64



EXISTING WALL TO REMAIN

WALL AREA (1) 37.71 SQM
 LIMITING DISTANCE 1.2 M
 TOTAL OPENINGS PROVIDED 2.60 SQM
 ALLOWED 07 %

WALL AREA (2) 30.26 SQM
 LIMITING DISTANCE 2.32 M
 TOTAL OPENINGS PROVIDED 3.97 SQM
 ALLOWED 13 %

WALL AREA (3):50 SQM
 LIMITING DISTANCE: 0.95 M
 TOTAL OPENINGS PROVIDED: 0.00 SQM
 ALLOWED 0 %

WALL AREA (4):1.80 SQM
 LIMITING DISTANCE:1.23 M
 TOTAL OPENINGS PROVIDED: 0.3 SQM
 TOTAL OPENINGS :ALLOWED 8 %



417- 62 FORESTMANOR RD.
 TORONTO, ONTARIO
 416-435-5109

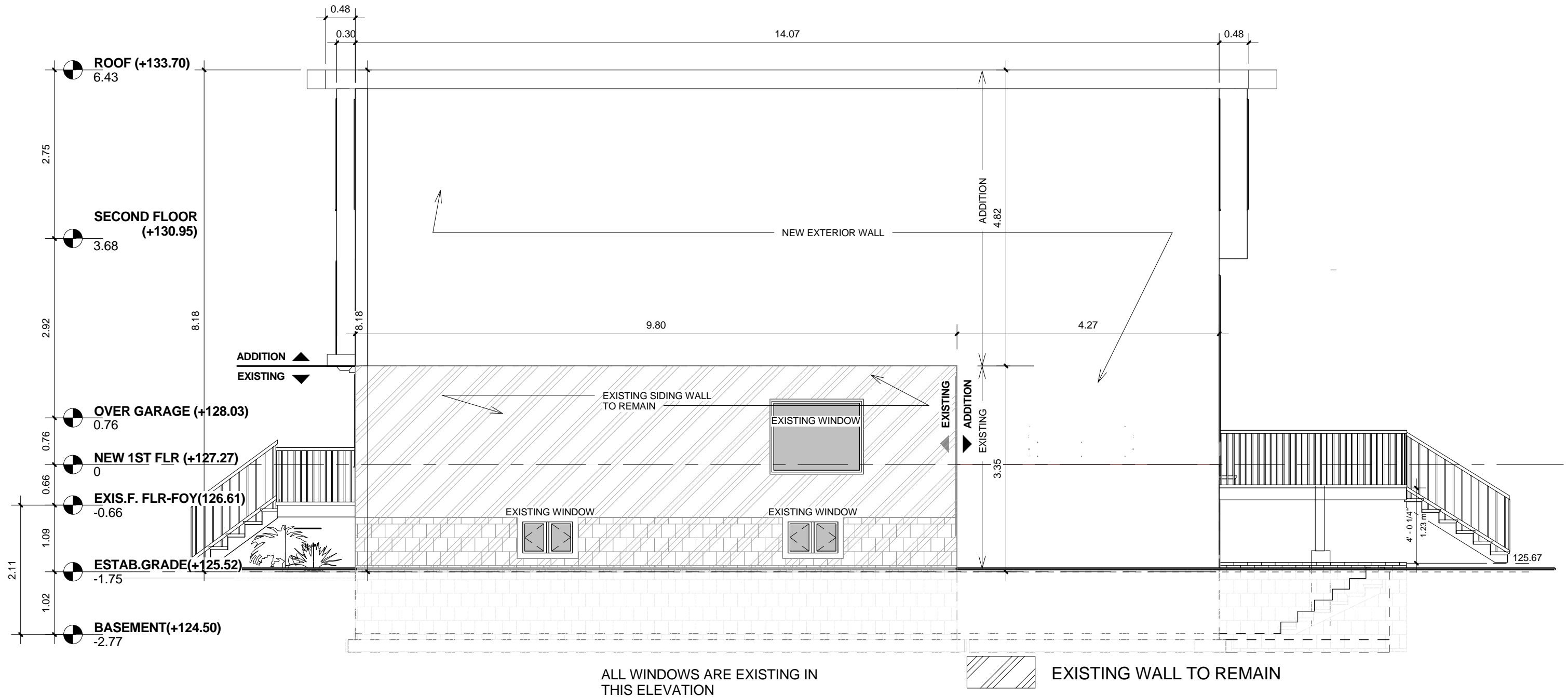
The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.
 Niloufar Baradaran BCIN 47012
 Signature *slu* Date 7/22/2017
 Arc & Art Design

Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent. Drawings are not to be scaled.

85 CADORNA AVE.
 SIDE, REAR & SECOND STOREY
 ADDITION

Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/15/2017
02	ISSUED FOR C OF A	7/22/2017

NORTH ELEVATION		
Project Number	A&A-002	A006
Date	07/15/2017	
Drawn by	NB	
Checked by	ARC & ART	
Scale		1 : 64



417-62 FORESTMANOR RD.,
TORONTO, ONTARIO
416-435-5109

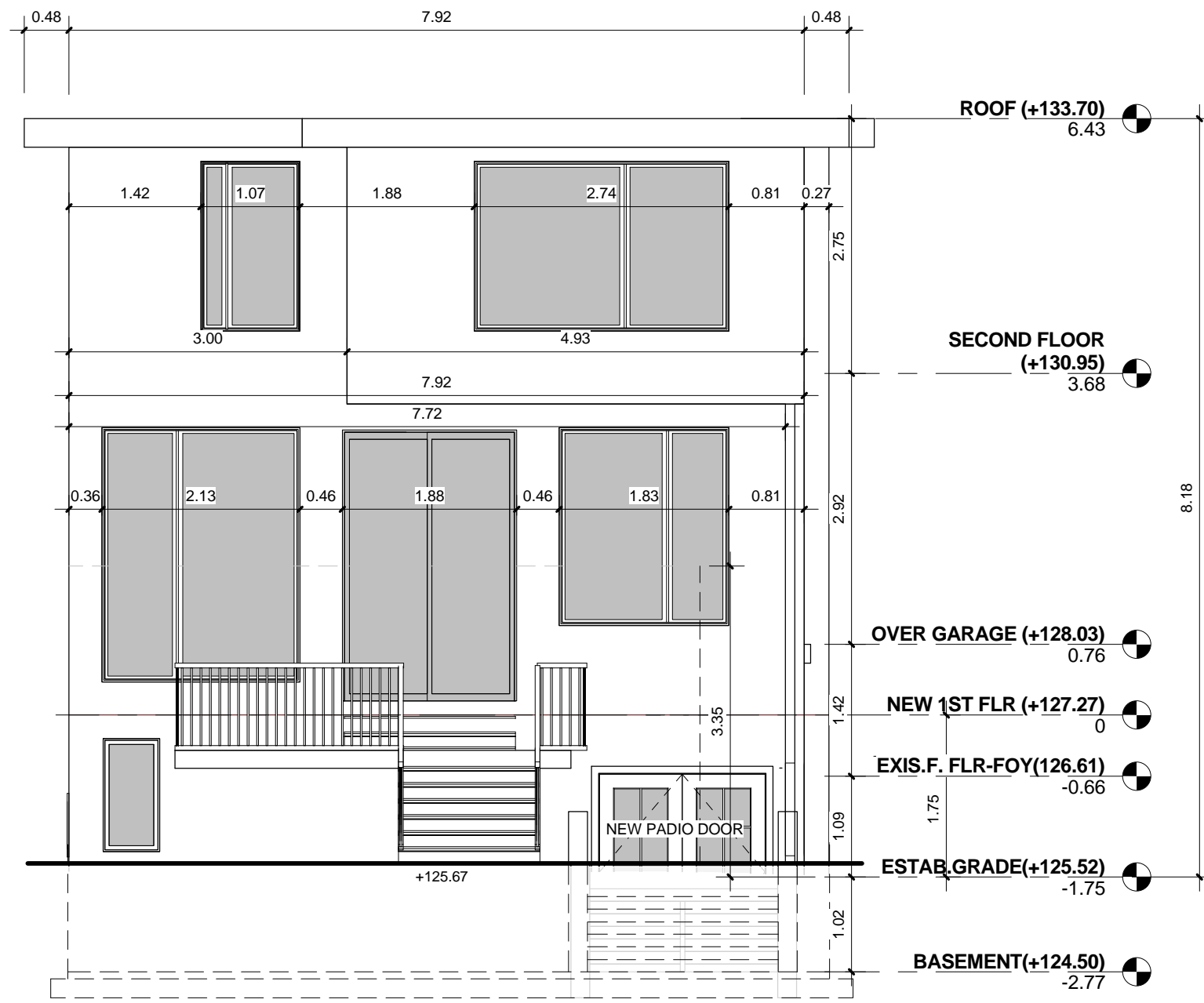
The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.
Niloufar Baradaran BCIN 47012
Signature *slu* Date 7/22/2017
Arc & Art Design

Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent. Drawings are not to be scaled.

85 CADORNA AVE.
SIDE, REAR & SECOND STOREY ADDITION

Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/22/2017
02	ISSUED FOR C OF A	7/22/2017

SOUTH ELEVATION		
Project Number	A&A-002	A007
Date	07/15/2017	
Drawn by	NB	
Checked by	ARC & ART	
Scale		1 : 64



417-62 FORESTMANOR RD.
TORONTO, ONTARIO
416-435-5109

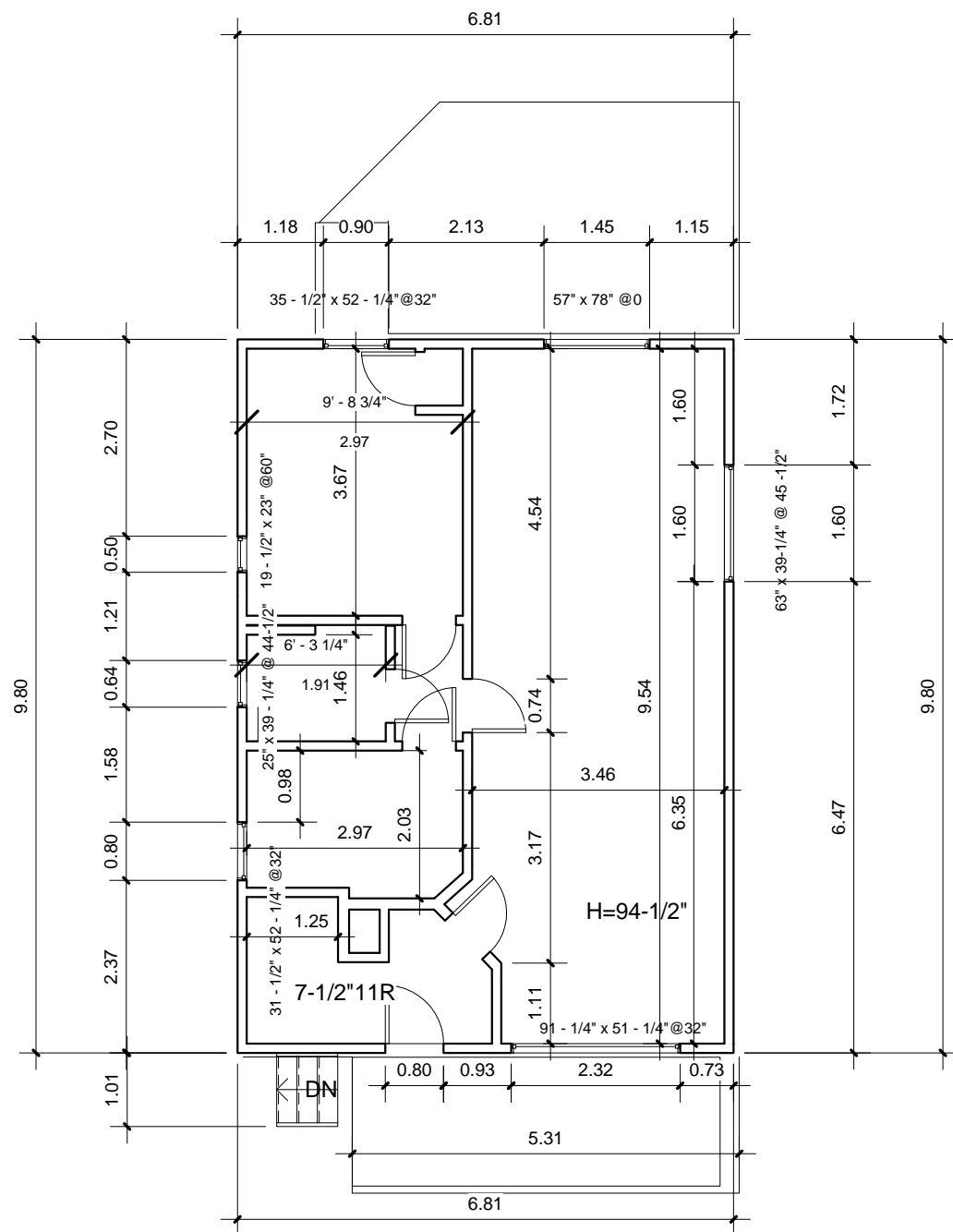
The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.
Niloufar Baradaran BCIN 47012
Signature *slu* Date 7/22/2017
Arc & Art Design

Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent. Drawings are not to be scaled.

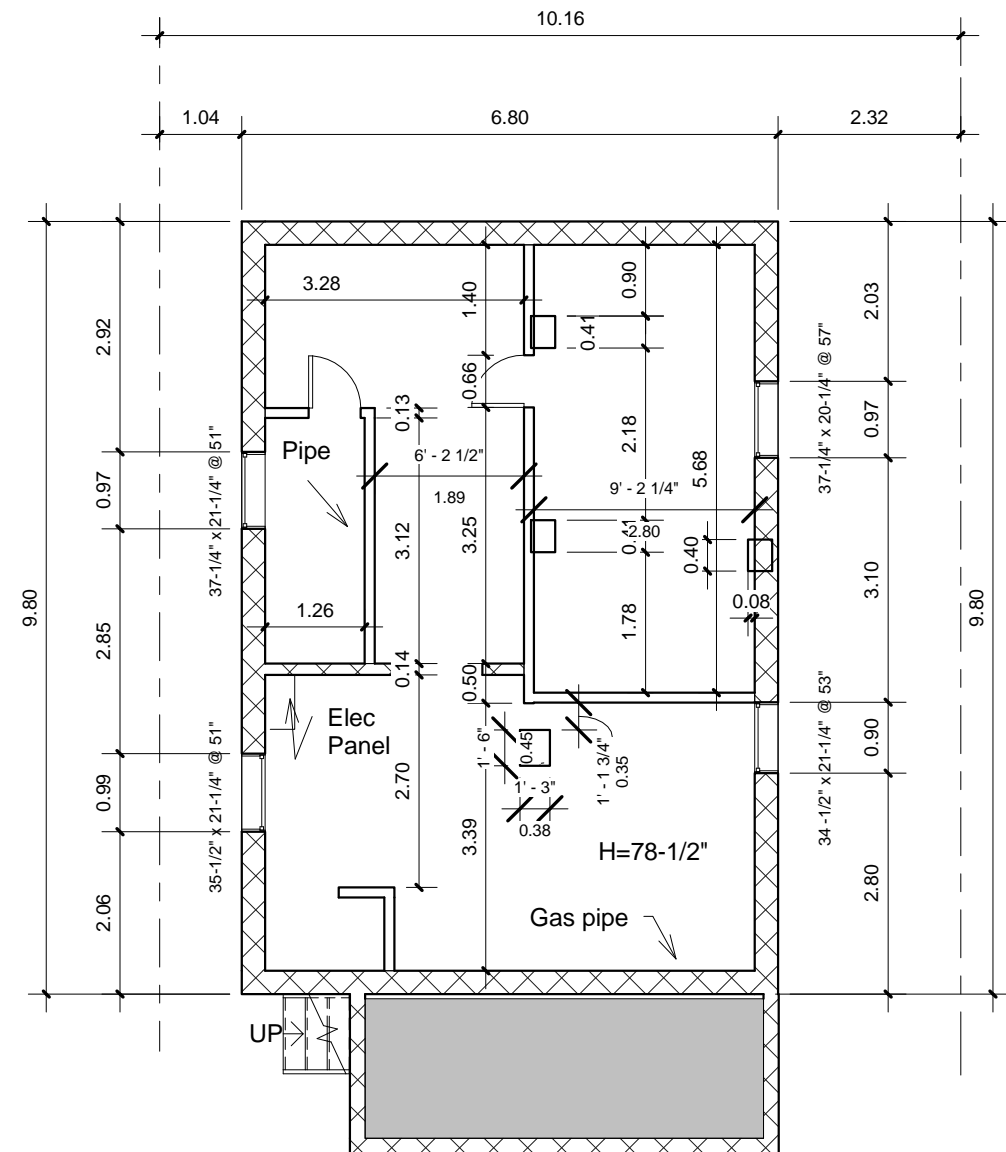
85 CADORNA AVE.
SIDE, REAR & SECOND STOREY ADDITION

Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/22/2017
02	ISSUED FOR C OF A	7/22/2017

EAST ELEVATION		
Project Number	A&A-002	A008
Date	07/15/2017	
Drawn by	NB	
Checked by	ARC & ART	
Scale		1 : 64



1 EXISTING 1ST FLOOR
1/8" = 1'-0"



2 FIN. BSMT. SLAB
1/8" = 1'-0"



417-62 FORESTMANOR RD.,
TORONTO, ONTARIO
416-435-5109

The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.

Niloufar Baradaran BCIN 47012

Signature *slu* Date 7/22/2017

Arc & Art Design

Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent. Drawings are not to be scaled.

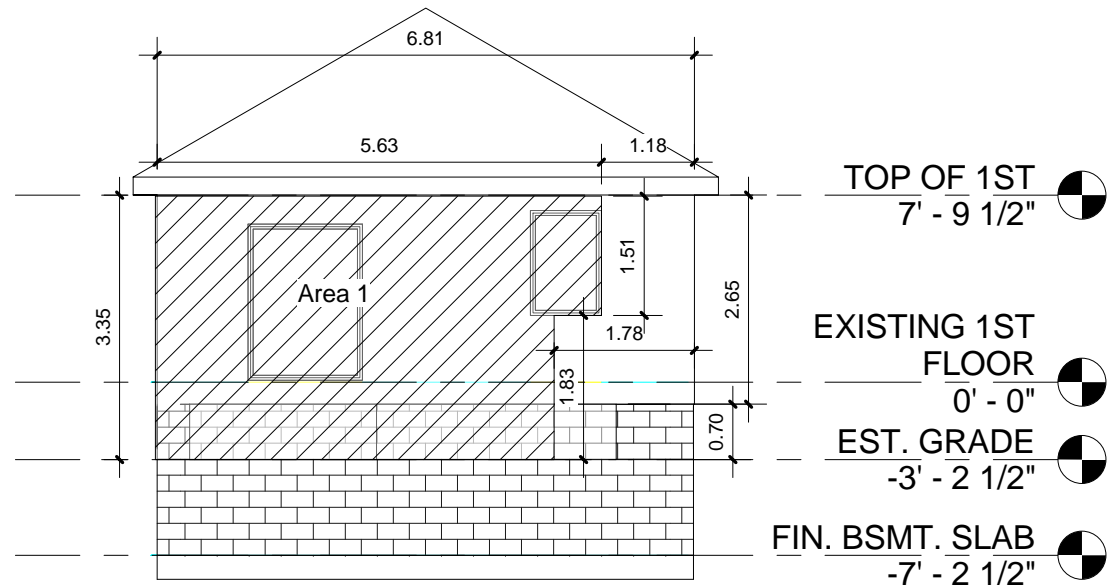
85 CADORNA AVE.

SIDE, REAR & SECOND FLOOR
ADDITION

Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/22/2017
02	ISSUED FOR C OF A	7/22/2017

Existing Floor Plans

Project Number	A&A-002	A009
Date	07/22/2017	
Drawn by	EN	
Checked by	ARC & ART	
		Scale 1/8" = 1'-0"

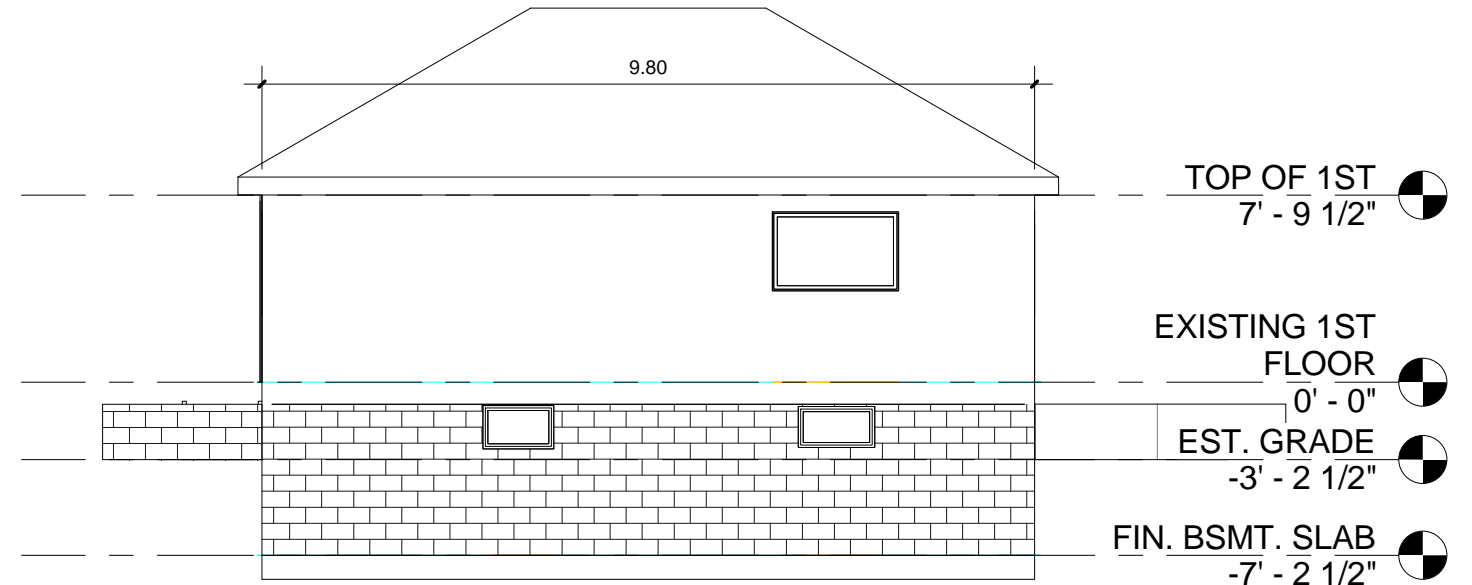


2 East Elevation
1/8" = 1'-0"

EXISTING WALL: 245.51
 DEMOLISHED = 191.54 SF
 AREA 1: 191.54 SF
 MAINTAINED = 53.97 SF = 5.01 SM
 22% TO BE MAINTAINED

TOP OF 1ST
7' - 9 1/2"
 EXISTING 1ST FLOOR
0' - 0"
 EST. GRADE
-3' - 2 1/2"
 FIN. BSMT. SLAB
-7' - 2 1/2"

TOTAL WALL AREA
 EAST: 245.51 SF
 WEST: 245.51 SF
 SOUTH: 353.45 SF
 NORTH: 353.45 SF
 TOTAL: 1197.92 SF = 111.29SM

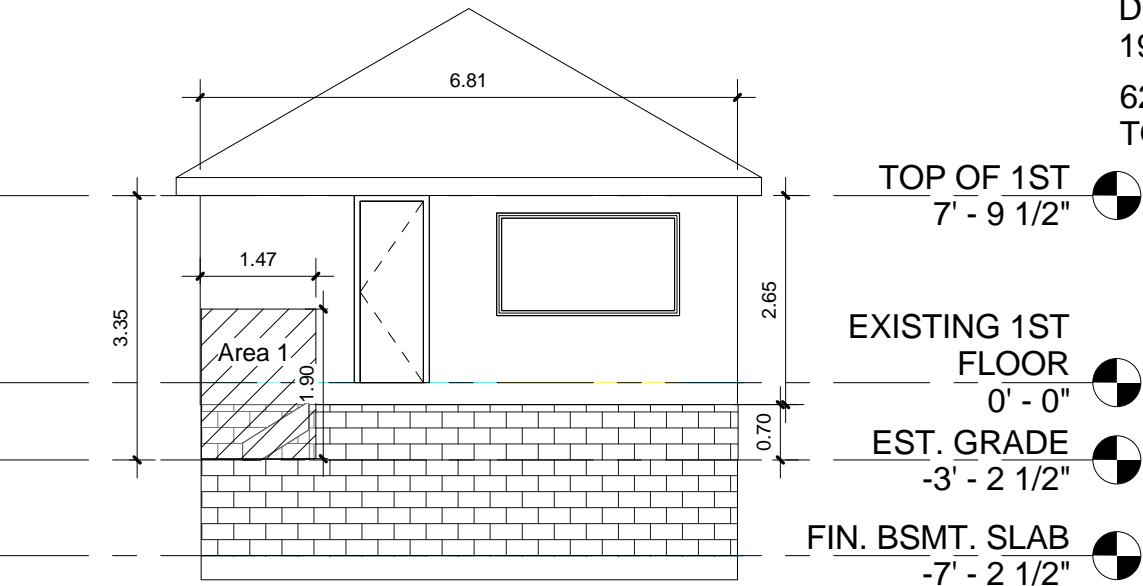


1 South Elevation
1/8" = 1'-0"

EXISTING WALL: 353.45 SF
 DEMOLISHED = 0 SF
 MAINTAINED = 353.45 SF = 32.83 SM
 100% TO BE MAINTAINED

TOP OF 1ST
7' - 9 1/2"
 EXISTING 1ST FLOOR
0' - 0"
 EST. GRADE
-3' - 2 1/2"
 FIN. BSMT. SLAB
-7' - 2 1/2"

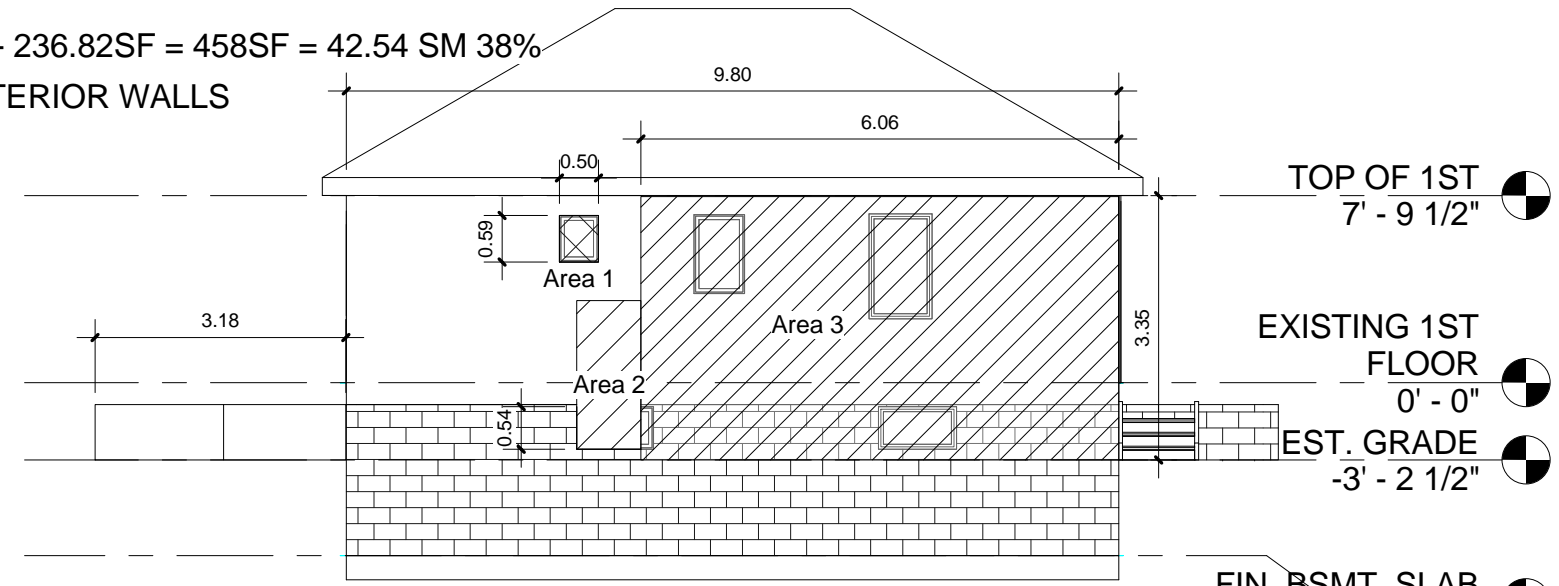
DEMOLISHED :
 191.54SF + 29.64SF + 0SF + 236.82SF = 458SF = 42.54 SM 38%
 62% OF THE EXISTING EXTERIOR WALLS
 TO BE MAINTAINED



3 West Elevation (FRONT)
1/8" = 1'-0"

EXISTING WALL: 245.51 SF
 DEMOLISHED = 29.64 SF
 AREA 1: 29.64 SF
 MAINTAINED = 215.87 SF = 20.05 SM
 87.9% TO BE MAINTAINED

TOP OF 1ST
7' - 9 1/2"
 EXISTING 1ST FLOOR
0' - 0"
 EST. GRADE
-3' - 2 1/2"
 FIN. BSMT. SLAB
-7' - 2 1/2"



4 North Elevation
1/8" = 1'-0"

EXISTING WALL: 353.45 SF = 32.83 SM
 DEMOLISHED = 236.82 SF
 AREA 1: (FILLED) 3.15 SF
 AREA 2: 16.75 SF
 AREA 3: 217.92 SF
 MAINTAINED = 116.63 SF = 10.83 SM = 32.9%

TOP OF 1ST
7' - 9 1/2"
 EXISTING 1ST FLOOR
0' - 0"
 EST. GRADE
-3' - 2 1/2"
 FIN. BSMT. SLAB
-7' - 2 1/2"



The undersigned has reviewed and takes responsibility for this design. The designer and design firm have required qualifications and registration as set out in OBC.
 Niloufar Baradaran BCIN 47012
 Signature *slu* Date 7/22/2017
 Arc & Art Design

Contractor to check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the works. This drawing is the property of "ARC & ART Design" and any use of it should have the designer consent. Drawings are not to be scaled.

85 CADORNA AVE.
 SIDE, REAR & SECOND FLOOR ADDITION

Revision Number	Revision Description	Revision Date
01	ISSUED FOR ZONING	6/22/2017
02	ISSUED FOR C OF A	7/22/2017

Existing/Demolish- Elevations		A010
Project Number	A&A-002	
Date	07/22/2017	
Drawn by	EN	
Checked by	ARC & ART	Scale 1/8" = 1'-0"